

STATE OF CALIFORNIA DEPARTMENT OF GENERAL SERVICES  
REAL ESTATE SERVICES DIVISION  
PROJECT MANAGEMENT BRANCH



Date: July 6, 2009

DOCUMENT 00 91 13

**ADDENDUM No. 5 TO THE CONTRACT DOCUMENTS**

Bid Opening Date – July 9, 2009

**6<sup>TH</sup> FLOOR ASBESTOS ABATEMENT, RENOVATION, BUILDING RESKIN, AND CENTRAL UTILITY  
PLANT  
DEPARTMENT OF MOTOR VEHICLES  
HEADQUARTERS BUILDING  
SACRAMENTO, CALIFORNIA**

PROJECT NO. 118141

ACKNOWLEDGE RECEIPT OF THIS ADDENDUM ON BID FORM AND  
REVISE THE CONTRACT DOCUMENTS AS FOLLOWS:

PROJECT MANUAL

SPECIFICATIONS

1. SECTION 02 82 00 - ASBESTOS ABATEMENT

A. ARTICLE 1.2 SUMMARY OF ASBESTOS-RELATED WORK

DELETE Article as written and REPLACE with the following:

1.2 SUMMARY OF ASBESTOS-RELATED WORK. The Contractor's asbestos-related work includes, but is not limited to, the following:

- A. Complete hazardous demolition and abatement of the entire sixth floor space; abatement of entire length of shafts 4, 5, 8, & 9 through all floor levels from bottom of shaft to top of shaft; abatement of shaft 3 at the 6<sup>th</sup> floor levels, removal and decontamination of air handling units, & duct work including those penetrating seventh floor deck and the associated concealed fireproofing; removal of exterior plaster wall furring in penthouse and concealed fireproofing (includes work at all penthouse perimeter walls, stairwells, elevator mechanical rooms, and one passenger elevator shaft at 6<sup>th</sup> floor level); removal of asbestos concrete deck coating throughout penthouse floor and all concrete curbs; removal of all asbestos roofing on 6<sup>th</sup> and 7<sup>th</sup> floor roofs; removal & decontamination of penthouse siding and concealed transite panels; removal of caulking at louvers and exhaust vents on penthouse; removal of lower level (basement) boiler insulation, refractory, and gaskets from 3 boilers to be removed; removal of

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asbestos dust and debris contamination in elevator pits, on car tops, surfaces & throughout shafts for all elevators; removal of non-friable window caulking from exterior windows through building for re-skin.

- B. Prepare each Work Area for hazardous demolition and abatement in accordance with the plans and this section. Preparation work includes, but is not limited to: Isolation and capping of HVAC duct system; Identification and isolation of electrical systems to be demolished and protection of electrical to remain; removing louvered wall sections, removing equipment, building hard wall construction barriers, and cleaning, filling and sealing all floor penetrations. Non-hazardous demolition and Work Area preparation must be completed prior to starting hazardous demolition work.
- C. The hazardous demolition, sheetrock plenum, gross fire proofing, thermal system insulation, and resilient flooring abatement on the sixth floor shall be completed in one "floor wide" containment and in one phase. The only exceptions to inclusion in the full floor containment are for duct shaft work, spot abatement work for mechanical/plumbing isolation and other preparation work, and abatement of shower/decontamination unit area floors unless otherwise noted (UON).
- D. The entire Sixth (6<sup>th</sup>) Floor space shall be contained under negative pressure prior to start of hazardous demolition. The hazardous demolition on the sixth floor includes but is not limited to all asbestos contaminated ceiling grid, acoustical panels, electrical & communication wiring, cables, & conduit, ducting, pneumatic tubes, interfering plaster furring, walls and ceilings systems, and other components and finishes exposed to asbestos contamination. Additional Work Area preparation is required prior to starting each phase of hazardous demolition and asbestos abatement work per the plans and these specifications. The Contractor shall refer to the drawings for the overall hazardous material demolition and the project phasing plan.
- E. The Seventh Floor work requires completion of the interior prior to the exterior unless otherwise noted or approved. The interior work requires separate hard barrier containments and tunnels to allow facility access to elevator mechanical rooms and hot water boiler area without restriction and phased hazardous demolition of plaster walls, concealed fireproofing, and asbestos floor coatings in the interior. All air handlers, ducts and mechanical equipment scheduled for demolition shall be removed and decontaminated prior to start of other demolition and abatement. Existing non-asbestos finishes (including fireproofing) to remain shall be protected from contamination during abatement. Elevator mechanical rooms, stairwell, and hot water boiler area require weekend work to complete.
- F. Sequenced hazardous demolition and asbestos abatement for the entire 6<sup>th</sup> floor and 7<sup>th</sup> floor while under negative pressure containment. Includes removal, clean-up, decontamination, and disposal of the following:
  - 1. Sixth Floor: All demountable partition walls including supports, frames and electrical.
  - 2. Sixth Floor: All floor mounted electrical monuments and under floor raceway wires and cables. Remove previously install grout or patches from abandoned walker duct/raceway penetrations UON. Clean out all raceways at access points. Infill all monument penetrations per drawings and specifications. Cap and seal all raceway openings. All work involving removal, clean-up, infill and sealing of walker duct/subfloor raceway and sealing other floor penetrations including the curtain wall gap, shall be complete prior to ceiling demolition UON.

3. Sixth Floor: The entire suspended ceiling system including all lighting fixtures, electrical conduit, support system, and wire, PCB ballasts, and mercury lighting tubes. Removal to proceed only after preparation of floors and walls to remain is approved by the State's Observation Service.
4. Sixth Floor: All HVAC ducts, registers, mixing boxes, hangers, controls, and associated insulation back to duct shaft. The rectangular sections of ductwork is constructed of heavy gauge steel (>13 GA); refer to heating system as-built reference sheet (H series) for HVAC duct system configuration and extent. Complete all HVAC duct demolition prior to gross abatement. Demolish asbestos contaminated gypsum board ceiling plenum throughout ceiling space. Note: do not demolish duct shaft wall until all other hazardous demolition and asbestos abatement is complete and cleared throughout the entire floor by the State's Observation Service.
5. Sixth Floor: All pneumatic tube stations, pneumatic tubes, and pneumatic tube hangers entirely. Complete demolition prior to gross abatement and seal any through floor/deck penetrations. Include an allowance for up to 1000 linear feet of pneumatic tube (4 inch OD) piping.
6. Sixth Floor: All ceramic tile with lead glaze and ACM mastic is to be removed along with bedding compounds and grout in each toilet room. Remove during main floor abatement UON.
7. Sixth Floor: All exposed and concealed thermal system insulation (TSI) on piping and all asbestos fireproofing on concrete and metal decking and beams throughout the Floor. Includes fireproofing overspray and fallout on ducts, conduits, concrete beams, walls, wall spaces, furring spaces, etc. Refer to reference structural, plumbing and mechanical as-built drawings for approximate location and extent of applied fireproofing and installed TSI.
8. All plaster ceilings, wall sections and furring scheduled for removal. Note: Either demolish ceiling and furring plaster after the gross removal and detailing of exposed fireproofing and thermal system insulation is complete or before gross abatement is started. Either way, seal and make water tight all penetrations and deck surfaces exposed by the plaster demolition process before exposing to wet removal process. Remove all fireproofing, TSI, and asbestos contaminated materials and debris. Gypsum block shaft walls are to remain in place until all abatement of other TSI and fireproofing materials on the floor is completed, inspected, and cleared.
9. All exposed and concealed pipe insulation (asbestos, fiberglass, foam, rubber, etc.) and duct insulation. Dispose of all insulation as asbestos contaminated and asbestos-containing hazardous waste.
10. All floor tile and mastic. This removal is to be conducted only after all fireproofing and TSI removal is complete except for that concealed in duct shafts. Limited spot abatement may be conducted in advance as necessary for containment and critical barrier preparation.
11. All plaster furred and gypsum block duct shaft walls scheduled for demolition and all concealed fireproofing, pipe TSI and asbestos debris within duct shaft. Remove only after all other exposed ACM on this floor has been removed and cleared. Will require establishing separate containments at each location on the 3<sup>rd</sup> and 6<sup>th</sup> floors, installing shaft access hatches, decon units and construction barriers on the 3<sup>rd</sup> floor level for shafts 4, 5, 8, & 9. Install work scaffolding inside each shaft for abatement from top to bottom and

install negative pressure with HEPA units exhausting to the outside from the 6<sup>th</sup> floor level. Each duct shaft will be temporarily sealed with a suitable durable construction barrier wall upon completion of abatement.

12. All asbestos contaminated plaster furring and concealed fireproofing on exterior penthouse walls. Set up 7<sup>th</sup> floor Penthouse interior for phased abatement of main floor area while maintaining protected access unprotected facility personnel to elevator mechanical rooms and both access and cooling fresh air to the hot water heater room and equipment. Remove interior mechanical systems and exterior louvered wall as necessary for access and construct floor to ceiling deck hard wall construction barriers to enclose the hot water heater room and freight elevator mechanical room. Likewise, construct a hard wall tunnel access for the small passenger elevator mechanical room from the stairwell. Removal of plaster, fireproofing and floor coatings in small areas established for access, stairwell and mechanical rooms will have to be separately scheduled for weekend work.
  13. All penthouse air handling units and associated ducting and equipment scheduled for removal. Dispose of air filters and sound suppressors as asbestos contaminated. Decontaminate internal of air handler and ducts removed for recycling. Spot abate residual fireproofing at supply and return duct penetrations in deck at 7<sup>th</sup> floor and roof deck levels. Isolate 6<sup>th</sup> floor from 7<sup>th</sup> floor by sealing penetrations with temporary infill type hard barriers.
  14. All asbestos-containing coating materials from concrete topping slab throughout penthouse and demolish all concrete curbs (also with asbestos coating). Fully contained mechanical or abrasive removal according to Air Quality Management District approved work plan and procedures is allowed. Repair, resurfacing, and sealing of topping slab is required upon completion. Phasing and access requirements apply.
  15. Exterior fluted (type A) metal siding on penthouse and asbestos cement (transite) panels concealed below. Decontaminate siding for recycling and decontaminate panels for disposal as non-friable asbestos waste. Removal involves use of containment system that protects building from inclement weather and that can safely be removed and secure as necessary during high wind conditions. Removal shall incorporate containment design and material removal, handling and storage procedures that prevent any wind related hazards to employees, building personnel, the public and property.
  16. All 6<sup>th</sup> & 7<sup>th</sup> floor asbestos roofing materials in accordance with project phasing plans or agreed upon schedule approved by State. Spot abatement and patching/repair of the 6<sup>th</sup> and 7<sup>th</sup> floor roof may required to support demolition and/or new work installation prior to full roof abatement of both roofs.
- G. All removed pipe thermal system insulation and all removed fireproofing to be replaced with new installed materials immediately upon completion of abatement.
- H. All asbestos contaminated dust and debris in elevator shafts surfaces, equipment, and cars. Asbestos and respirator qualified elevator operator (contractor) support is required inside the shaft containment throughout the abatement & clean-up operation. Special phasing and scheduling requirements apply-weekend work required.
- I. All insulation, gaskets, and refractory materials associate with the three boilers to be demolished in the lower level (basement) boiler room. All fireproofing and insulation in shaft at lower level.

- J. All stairwell fire doors during stairwell renovation/alteration;
- K. All non-friable sealant and caulking materials associated the window and aluminum curtain wall systems to be removed for re-skin of building. Clean all ACM caulking from all brick and other surfaces to remain.
- L. All other asbestos related work indicated, required, or reasonably inferred by the project plans.
- M. Contractor to field verify location, dimensions, and extent of materials to be removed and replaced prior to submitting bid.

B. ARTICLE 3.6 CLASS II ASBESTOS WORK

ADD 3.6.H as follows:

H. Exterior Curtain Wall, Window & Louver Caulking/Sealants

- 1. Establish a contained/regulated removal area for curtain wall/window and louver removal.
- 2. Using wet methods, disassemble curtain wall system, removing exposed and concealed non-friable caulking, sealants and mastics.
- 3. Decontaminate brick and other surfaces to remain by removing residual non-friable caulking, sealants and mastics using wet methods. Decontaminate components to be recycled.
- 4. Clean up all resulting asbestos debris and containerized all removed asbestos caulking, sealants and mastic debris and cleaning materials for disposal as asbestos containing wastes.

2. SECTION 02 83 00 LEAD-IMPACTED CONSTRUCTION & ABATEMENT

A. ARTICLE 1.1 SUMMARY OF LEAD-RELATED WORK

ADD 1.1.B.4 as follows:

- 4. Demolition of painted mechanical equipment including boilers, painted pipe components, ducting, support structures and equipment where occurs. Remove paint for hot work as necessary. Contain and clean up all lead contaminated dust and debris resulting from demolition and removal activities. Includes but is not limited to work in lower level boiler room, mechanical penthouse and 6<sup>th</sup> and 7<sup>th</sup> floor roofs.

3. SECTION 09 51 13 – ACOUSTICAL PANEL CELINGS

A. ARTICLE 2.5 SPECIALTY CEILING SYSTEM PANELS (LINEAR WOOD CEILING)

DELETE paragraph 2.5.A.2 as written and REPLACE it with new paragraph 2.5.A.2, as follows:

2. Specialty Ceiling Panel Properties:

- a. Grille Panel: Wood grille ceiling panel with acoustical insulation backing.
  - 1) Acoustical Insulation Backing: Rigid glass fiber panels, 1 inch thick, with a black facer and foil at the back, placed in metal suspension grid. Metal grid to have black finish, unless otherwise directed by Architect.

- 2) Wood grille panels shall be hung 1/2 inch below glass fiber panels with metal hangers; hangers and fasteners as acceptable to Architect.
- b. Edge: Square.
- c. Grille Slat Size: 5/8-inch by 1-3/8-inch, spaced at 1-3/16 inches o.c.
- d. Panel Size: As indicated on Drawings.
- e. Wood Species: Maple, solid, S4S; laminated wood is unacceptable.
- f. Finish: Clear lacquer, satin sheen.

4. SECTION 27 41 13 – AUDIO/VISUAL SYSTEM

A. ARTICLE 1.3 SYSTEM DESCRIPTION

DELETE A as written and REPLACE with the following:

A. Audio/Visual Conference Room

1. Projection System - Refer to A/V Equipment Schedule on Electrical Sheet E4.4 for all A/V required equipment.
2. Video System - Refer to A/V Equipment Schedule on Electrical Sheet E4.4 for all A/V required equipment.
3. Audio System - Refer to A/V Equipment Schedule on Electrical Sheet E4.4 for all A/V required equipment.
4. Remote Control System - Refer to A/V Equipment Schedule on Electrical Sheet E4.4 for all A/V required equipment.

5. SECTION 28 10 00 – ELECTRONIC SECURITY

A. ARTICLE 1.2 SUBMITTALS

DELETE Paragraph B in its entirety.

DRAWINGS

1. SHEET HM0.1

A. SUMMARY OF HAZARDOUS MATERIALS / ABATEMENT WORK,  
7. MISCELLANEOUS ABATEMENT & HAZMAT IMPACTED CONSTRUCTION (MULTIPLE FLOORS):

DELETE paragraph E as written and REPLACE with:

- E. REMOVE ALUMINUM CURTAIN WALL SYSTEM WITH KNOWN AND SUSPECT NON-FRIABLE ASBESTOS CONTAINING SEALANTS AND CAULKING MATERIALS. REMOVE ALL RESIDUAL CAULKING/SEALANT MATERIALS FROM BRICK AND OTHER SURFACES TO REMAIN. ALL EXPOSED AND CONCEALED CAULKING AND SEALANT MATERIALS SHALL BE CONSIDERED ASBESTOS CONTAINING MATERIALS IN THE ABSENCE OF EVIDENCE TO THE CONTRARY. INCLUDES BUT IS NOT LIMITED TO

PANEL TO FRAME AND FRAME TO BRICK, AND OUTER PART OR JOINT INTERFACES PRESENT IN THE WINDOW/CURTAIN WALL SYSTEM. SUBMIT A PLAN FOR CAREFUL REMOVAL AND DISPOSAL OF WINDOW/CURTAIN WALL SYSTEM AND PROPER CONTAINMENT AND DISPOSAL OF ASBESTOS SEALANTS AND CAULKING MATERIALS. REMOVAL ALSO INCLUDES CAULKING AT LOUVERED WALL SECTIONS SCHEDULED TO BE REMOVED. COORDINATE WITH ARCHITECTURAL.

B. HAZARDOUS MATERIALS SUMMARY

1. ASBESTOS-CONTAINING MATERIALS
  - A. SPRAYED ON FIREPROOFING

DELETE subparagraph V as written and REPLACE with:

V. FIREPROOFING HAS BEEN ABATED FROM ALL THE LOWER LEVEL FLOORS (BASEMENT, 1<sup>ST</sup>, 2<sup>ND</sup>, 3<sup>RD</sup>, 4<sup>TH</sup>, & 5<sup>TH</sup>) WITH THE EXCEPTION OF SOME VERY LIMITED AREAS AND ENCLOSED AREAS, SUCH AS SHAFTS 4, 5, 8, AND 9; SHAFT 11 AT BASEMENT LEVEL; FLOORS 1, 2, AND 4 IN ELECTRICAL CLOSET WALL SPACES.

1. ASBESTOS-CONTAINING MATERIALS

DELETE subparagraph I in its entirety and REPLACE with:

I. ASBESTOS CURTAIN WALL CAULKING (3-10%): ASBESTOS HAS BEEN DETECTED IN SOME NON-FRIABLE CAULKING AND SEALANT MATERIALS ON THE ALUMINUM CURTAIN WALL & WINDOW SYSTEMS AT ASSEMBLY JOINTS AND ALSO INTERFACE WITH EXISTING BRICK WALL TO REMAIN. ALSO PRESENT ON LOUVERED WALL SYSTEMS AT JOINTS.

2. SHEET E2.6A

ADD above ceiling conduits connecting Tele Closets per Addendum No. 5 Drawing E-1 dated 7/06/09; showing (2) 4" conduits connecting Tele Closet 613 to Tele Closet 608B; Tele Closets 608B to Tele Closet 656; Tele Closet 613 to Tele Closet 649.

3. SHEET E2.6B

ADD above ceiling conduits connecting Tele Closets per Addendum No. 5 Drawing E-2 dated 7/06/09; showing (2) 4" conduits connecting Tele Closet 649 to Tele Closet 656; Tele Closets 656 to Tele Closet 608B; Tele Closet 649 to Tele Closet 613.

ADD detail 2/E2.6B per Addendum No. 5 Drawing E-3 dated 7/06/09; showing extended bus duct riser from 5<sup>th</sup> floor to 6<sup>th</sup> floor and electrical equipment in chase.

ADD reference tag to detail 2/E2.6B per Addendum No. 5 Drawing E-4 dated 7/06/09.

4. SHEET E7.1  
Numbered Note 2

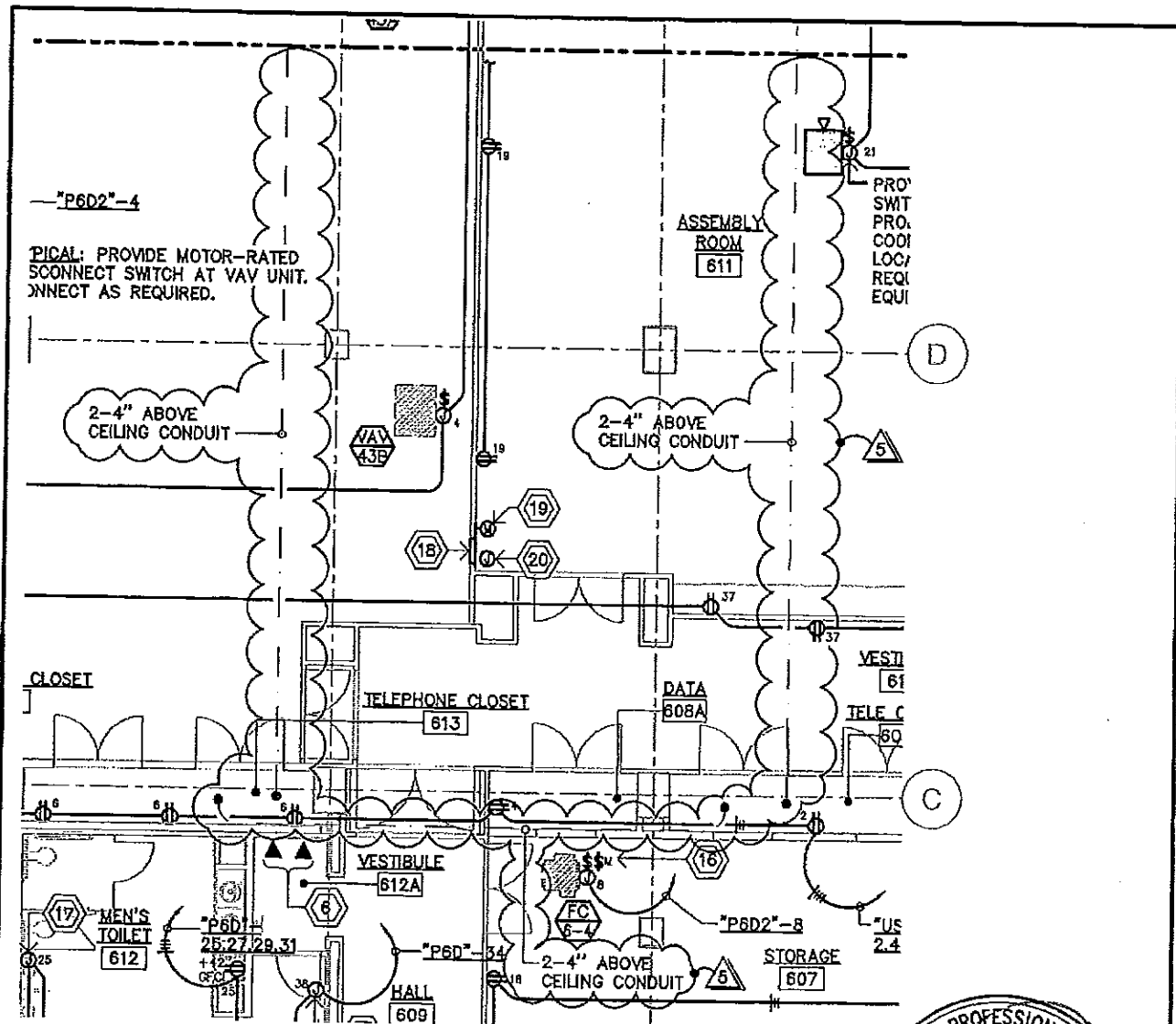
CHANGE the photovoltaic Square D 600VDC disconnect switch part number from Square D Model #H363RB to #H364RB.

END OF ADDENDUM NO. 5

ATTACHMENTS:

Addendum No. 5 Drawing Sheets:

E-1 through E-4 dated 7/6/09



**PARTIAL 6TH FLOOR  
POWER & SIGNAL PLAN  
SOUTHWEST QUADRANT**

SCALE: 3/32" = 1'-0"

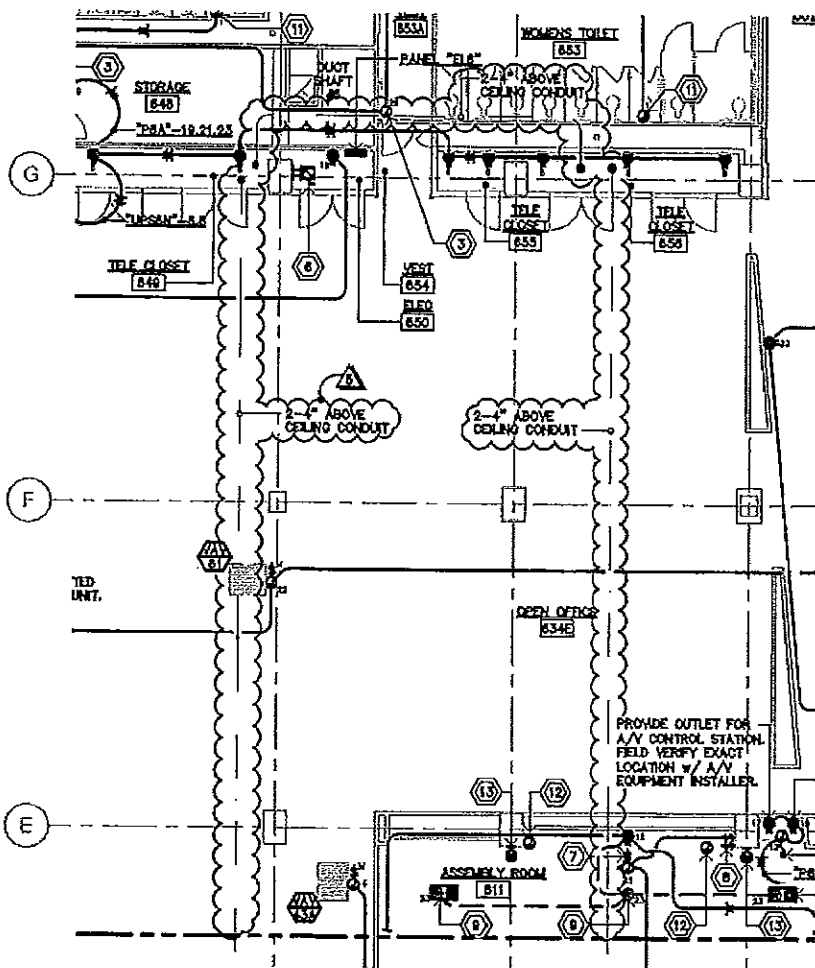


**ADDENDUM NO. 5**

**LIONAKIS**  
beyond design.

1919 Nineteenth Street  
Sacramento CA 95811  
P 916.558.1900 F 916.558.1919  
www.lionakis.com

PROJECT:	DMV 6th Floor, Reskin, CUP		
REVISION:	Addendum 5	JOB NO:	24122
REFERENCE:	E2.6A	SCALE:	As Noted
DATE:	7/6/09	DRWG:	E-1



# PARTIAL 6TH FLOOR POWER AND SIGNAL PLAN NORTHWEST QUADRANT

SCALE:  $\frac{1}{8}'' = 1'-0''$

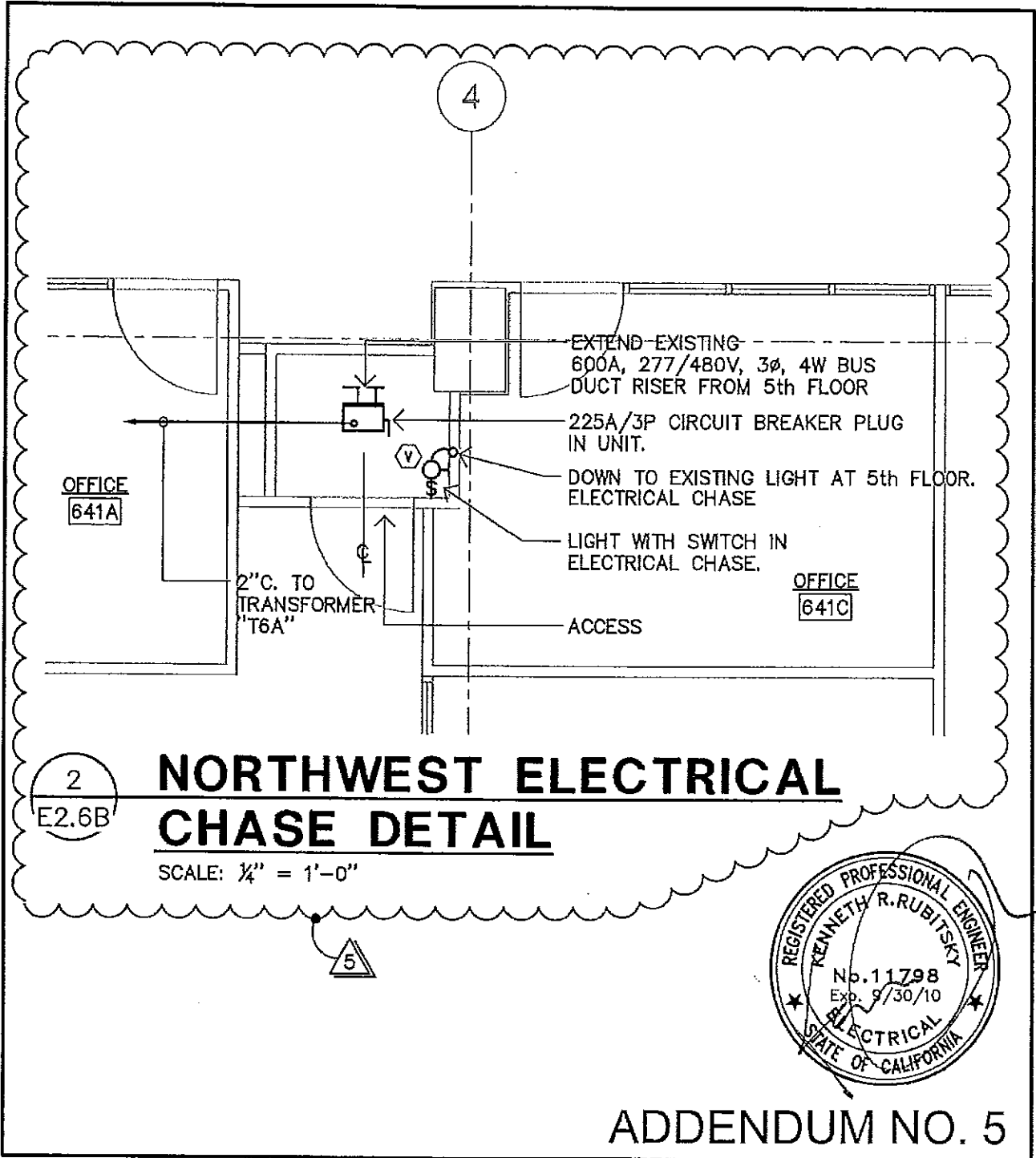


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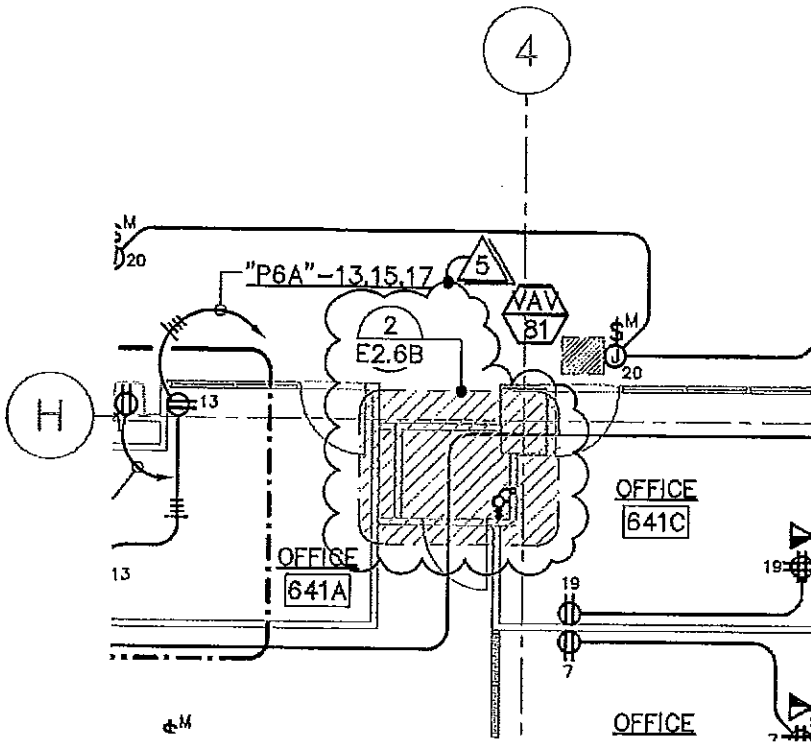
PROJECT:	DMV 6th Floor, Reskin, CUP	
REVISION:	Addendum 5	JOB NO: 24122
REFERENCE:	E2.6B	SCALE: As Noted
DATE:	7/6/09	DRWG. E-2



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PROJECT:	DMV 6th Floor, Reskin, CUP
REVISION:	Addendum 5
REFERENCE:	E2.6B
DATE:	7/6/09
JOB NO:	24122
SCALE:	As Noted
DRWG.	E-3



# PARTIAL 6TH FLOOR POWER AND SIGNAL PLAN NORTHWEST QUADRANT

SCALE:  $\frac{1}{8}'' = 1'-0''$



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PROJECT: DMV 6th Floor, Reskin, CUP

REVISION: Addendum 5 JOB NO: 24122

REFERENCE: E2.6B SCALE: As Noted

DATE: 7/6/09 DRWG. E-4